

possible. Our interest is in seeing your project complete... including the final inspection.

Who should obtain the permit?

Contractors, architects, engineers, or your agent can obtain permits. The home owner can also obtain the permits.

Can I do the work myself or do I have to hire a contractor?

You can do the work yourself, but you must follow certain regulations. Among them:

Workers' Compensation: If you will be hiring anyone, you may have to purchase Workers' Compensation Insurance, which is available from a variety of agencies.

Build to the plans: Be sure to follow your approved plans, whether they are drawn by an architect or designer or are standard construction requirements given to you by the City. If you change the plans while building the structure, this will cause problems when the project is inspected. If you do decide to make changes, check with the permit staff or your field inspector. An addendum to your approved plans can usually be made.

Who draws up the plans?

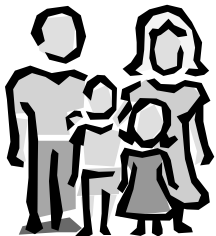
Plans for projects such as room additions can usually be drawn up by a qualified individual such as a draftsman. Other projects may require plans prepared and signed by a licensed architect or engineer.

For projects such as routine retaining walls, patio covers or carports, the City has standard specifications that can be followed within certain limitations. Those specifications, together with a plot plan showing your project, are accepted by the department as plans.

In addition, some kit-type projects come with construction plans. Before you buy, call 582.2375 to make sure your kit is accepted; then just bring the instruction sheet or other documentation along when you apply for your permit - it serves as plans.

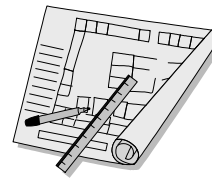
What about inspections?

It is your responsibility to call us for inspections at specific times during construction. You may have your contractor make the call, but it is still your responsibility, as the property owner, to make sure the inspections are made. Inspections are made during certain points in the project, depending on the



work that's being performed. For example, inspections on a new home would include:

- Footings and foundation walls (prior to pouring concrete)
- Rough framing, electrical, plumbing and mechanical (prior to installing insulation or drywall)
- Sewer connection
- Water service connection (Water and Sewer Department)
- Final inspection and issuance of a Certificate of Occupancy.



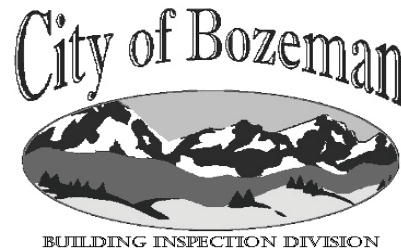
Remember...the project is not complete for legal purposes until it has passed the final inspection.

Should you have any other questions, please call us at 582.2375



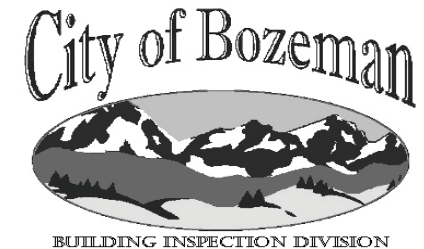
Building Permit Tips for Home Owners

Construction permits...
For your safety and security,
easier to get than you might think.



20 E Olive St., Ste 208
PO Box 1230
Bozeman MT 59771

Revised 7/15/05



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Construction permits... For your safety and security, are easier to get than you might think.

Home owners thinking about remodeling their home or adding other improvements such as decks, spas or retaining walls, many times have a number of questions about building permits.

This handout is designed to give home owners basic knowledge of when construction permits and other approvals are required by the City of Bozeman. It also answers some of the most frequently asked questions and offers tips from the City.

Since each construction project is unique, we invite you to call the City's Permit Information Line, 582.2375, for answers to your specific questions.

What are permits and why do I need one?

Permits are the way the City of Bozeman regulates construction. This is designed to ensure that all construction in the city is safe. The safety of the occupants of buildings is the primary reason for having construction codes. The City of Bozeman has adopted several codes, among them the International Residential code, International Mechanical, Uniform Plumbing, and National Electrical Codes. In addition, there are federal, state and local laws that govern construction, such as those covering energy conservation.

There are several different types of permits, based on the type of construction - structural, plumbing, mechanical and electrical. Most home owner projects require a combination permit. In addition, the complete demolition and relocation of buildings also require permits.

Obtaining the permit is just the first step in the process. In this step, you may need to create plans to submit to the Building Division, make a plot plan of your property showing the improvements, and show the type of construction you'll be using. The City has handouts to help you through this process.

Once plans are approved, you're required to build the project to those plans. If any changes are made to the plans, they must be made with the



City's approval.

The second half of the process is the inspection of the work. More about that later.

When do I need a construction permit?

A construction permit is needed for all new construction. In many cases, a permit is needed for repair or replacement of existing fixtures, such as replacing windows. A plumbing, electrical or mechanical permit is needed for any addition or changes to a building's existing system; for example, moving or adding an electrical outlet requires a permit.. Replacement of roof coverings also requires a permit.

When don't I need a permit?

A construction permit is not needed for items such as wallpapering, painting or similar finish work, fences six feet high or lower, and in several other cases. However, permits may be required from Zoning, Development and Environmental Planning, or other agencies; be sure to check before building.

Plumbing, mechanical and electrical work, replacement or repair of fixtures (such as changing water faucets or replacing fixtures) does not normally require a permit. **Replacing a water heater or adding a permanently wired light fixture does, however, require a permit.**

Where do I get a permit?

Construction permits are issued at the City Building Division, 20 E Olive St., Ste 208. Call 582.2375 for information.

How long does it take to get a permit:

Permit issuance periods vary. Some projects can be fully permitted over-the-counter, meaning a return trip won't be needed. Most projects, however, require that plans be left for additional review.

What about zoning?

Zoning sets up, within a defined area, the types of buildings and what they will be used for. For example, a residential area may be zoned R1, which means that the lots can

contain one single-family home .

Zoning is regulated based on maps approved by the City Commission. A variance may be obtained in some cases if the property owner wants to build something not allowed in the property's zone.

Some questions and approvals for zoning can be issued over-the counter by the same staff that reviews your building plans. Others need review by specialty zoning or planning staff.

There are also special zones within the City such as planned districts. The city's Planning and Zoning Office can answer questions about these areas; call 582.2260.

What about other approvals or permits?

Other government agencies may need to review and approve your project. The City will inform you of these reviews at the time plans are submitted.

What if I don't get a permit?

If a permit, when needed, is not obtained before construction, you will have violated City codes and regulations; you'll be subject to fines and penalties. You'll be required to obtain permits for the work and it must pass inspection, or you'll have to return the structure or site to its original condition.

Remember...construction codes were created for safety reasons. Work built without a permit can be unsafe, no matter how good it looks.

The City's Neighborhood Code Compliance Department enforces codes on already-built structures. The telephone number for Code Compliance is 582.2370.

What if I have a permit but never called for inspections?

Generally, permits expire after 180 days if no inspections have been made. In order for the project to be complete, it must pass final inspection. If a permit expires before final inspection, the project is in violation of City codes. If this is your case, call 582.2375. We'll help you to reactivate the permit or apply for another with as little inconvenience as

